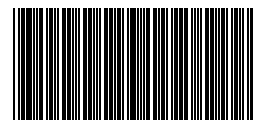




Filed: 8 June 2023 11:19 AM



D0001QB3Z8

Amended Plans

COURT DETAILS

Court	Land and Environment Court of NSW
Division	Class 1
Registry	Land and Environment Court Sydney
Case number	2023/00026455

TITLE OF PROCEEDINGS

First Applicant	Peter John Zembis
First Respondent	SUTHERLAND SHIRE COUNCIL ABN 52018204808

FILING DETAILS

Filed for	Peter John Zembis, Applicant 1
Legal representative	Jason Brian Hones
Legal representative reference	
Telephone	0299293031
Your reference	JBH:PC:22277

ATTACHMENT DETAILS

In accordance with Part 3 of the UCPR, this coversheet confirms that both the Lodge Document, along with any other documents listed below, were filed by the Court.

Amended Plans (REV B-DA 421 Willarong Rd Caringbah Sth.pdf)

[attach.]

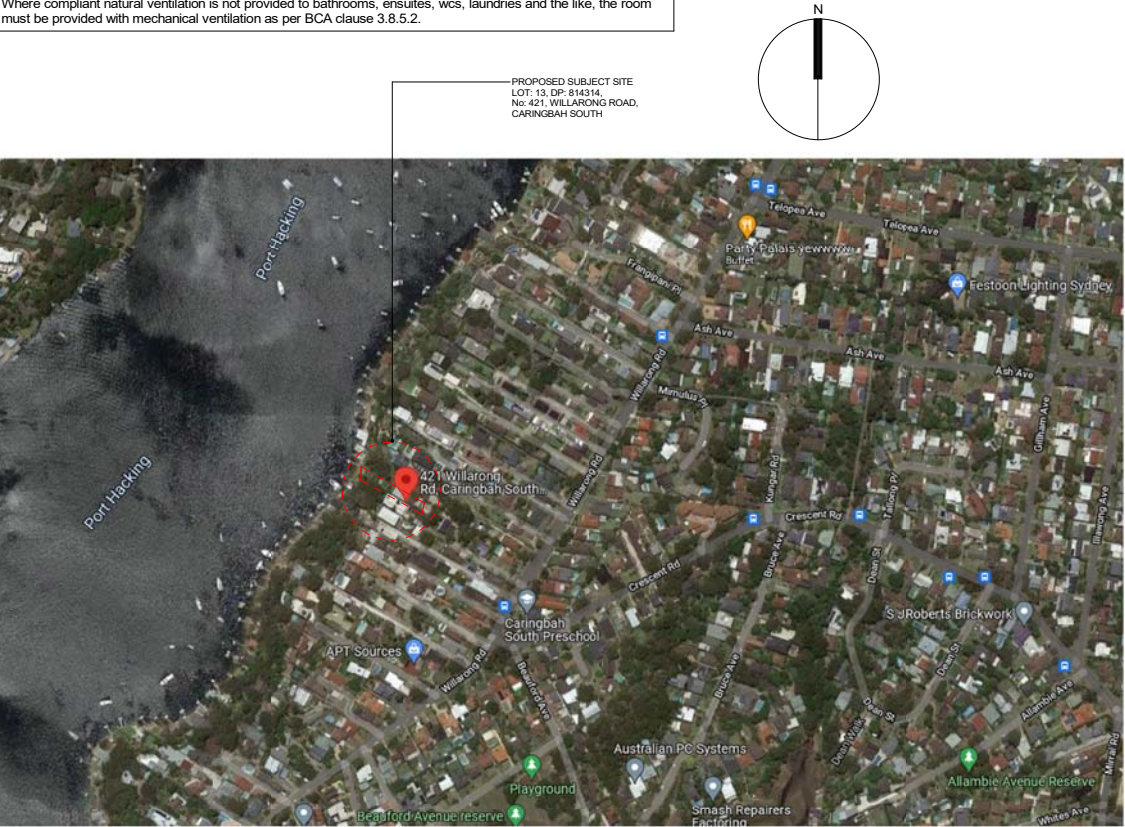
PROPOSED ALTERATIONS & ADDITIONS INCLUDING FIRST FLOOR ADDITION TO EXISTING RESIDENCE

AT:

LOT: 13, DP: 801 314 No: 421 WILLARONG ROAD, CARINGBAH SOUTH, NSW, 2229

DEVELOPMENT APPLICATION (DA)

GENERAL SPECIFICATIONS
Builder, sub-contractor to check all dimensions on site prior to commencement of any works.
Provide rubble access throughout construction period to council requirements.
Demolition works to be carried out in accordance with as 2601. All excavation, demolition works to be carried out in a careful systematic manner to avoid damage to excess structures.
All brickwork to comply with AS3700 masonry in buildings.
Provide vertical articulation control joint in brickwork to comply with part 3.3.1.8 of BCA.
Provide tree protection measures to trees to be retained in accordance with council requirements.
Refer to Engineers details & specifications for all structural works.
All roof water and storm-water runoff to be connected to a council approved system of collection and/or disposal. All sewer waste to be connected to the existing mains service in accordance with as 3500.
All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.(for more detail refer to main specification provided with tender documents)
All timber works to comply with AS1684 national timber framing code.
All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
Plumbing services to be carried out only by licensed tradespersons and in accordance with AS3500.3.2, AS3500.2.2, AS3500.1.2, AG 601 and other associated standards and codes.
Contractor to ensure selected tiles, fittings, etc, are appropriate and suitable for each application.
All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insulation), AS1904 (foil insulation) and associated standards and codes.
Any proposed variations to the details supplied in these documents must be discussed with and approved by Boli Designs in writing, before the contractor orders or installs the relevant materials or systems.
The contractor must ensure that all proprietary systems and materials used in the construction of these works will be compatible with the details provided by Boli Designs.
All measurements shown and scheduled are nominal. the contractor shall check all measurements on site before ordering materials and check any anomalies with Boli Designs before proceeding.
Nibs to internal doorways to allow 100mm min. Clearance to architrave and where this is not possible discuss approved alternative with Boli Designs.
Provide matching insect screens as approved to all opening window sashes.
Where compliant natural ventilation is not provided to bathrooms, ensuites, wcs, laundries and the like, the room must be provided with mechanical ventilation as per BCA clause 3.8.5.2.



VIEW 1. ARTISTS IMPRESSION OF PROPOSED GARAGES TO FRONT

NTS



VIEW 2. ARTISTS IMPRESSION OF PROPOSED ADDITIONS TO EXISTING RESIDENCE

NTS

DATE	REV	ISSUE	BY
26.03.23	A	AMENDED DA DRAWINGS FOR LEC HEARING	AD
14.05.23	B	FURTHER REDUCTION TO DA DRAWINGS FOR LEC HEARING	AD

NOTES:
1. Builder was check all Building and Boundary Dimensions Prior to Commencement of work as that the work can be carried out as.
2. All Building work shall comply with Australian Building codes and Local Council Requirements.
3. Provide Termite Protection in Accordance with with AS 3601.1-1999 Requirements.
4. All Dimensions shown are Theoretical only and are subject to Site Measure during Construction.
5. Do not Scale off Drawings.
6. Site Boundary Survey to be provided where necessary to confirm Boundary Position in Accordance with Adjacent Properties and Services.
7. This drawing is copyright and the property of the author and must not be reproduced or used without the authority of BOLI DESIGNS

PROJECT NO:	2105/21	CLIENT:	M. P. & MRS. A. ZEMBI
SCALE:	@ A1	REV:	A
DATE:	30th NOVEMBER 2021	PROJECT:	PROPOSED ALTERATIONS & ADDITIONS INCLUDING FIRST FLOOR ADDITION TO EXISTING RESIDENCE
SHEET TITLE:	COVER SHEET	ADDRESS:	LOT: 13, DP: 814314, 421 WILLARONG ROAD CARINGBAH SOUTH, NSW, 2229
COUNCIL:	SUTHERLAND SHIRE COUNCIL		

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING TWO STOREY RESIDENTIAL LOT: 13, DP: 814314, 421 WILLARONG ROAD, CARINGBAH SOUTH

- New or altered overheads to be a minimum 3 star rating. (>7.5 but <= 0.1n/r)
- New or altered in the proposed dwelling to be minimum 3 star rating.
- New or altered kitchen taps to be minimum 3 star rating.
- New or altered basin taps to be minimum 3 star rating.

RAINWATER TAP

- Rainwater tank must be at least 2100 litres in size
- Rainwater tank to collect rainwater run off from at least 21m² of the roof area of the development (excluding the area of roof which drains to any stormwater tank or dam)
- Rainwater tank must be connected to:
 - all toilets in the development,
 - the cold water tap that supplies clothes washer in the development,
 - at least one outdoor tap in the development

LIGHTING

- The applicant must ensure a minimum of 40% of new or altered light fixtures are impact fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

- The applicant must ensure no more than a capacity of 40 kilolitres
- The applicant must ensure a pool pump timer is installed
- The applicant must ensure the following system for the swimming pool that is part of this development: solar only

HOT WATER

- The applicant must install a gas instantaneous hot water system in the development with a performance rating of 5 stars

OTHER

- The applicant must install a gas cooktop & electric oven in the kitchen.
- The applicant must install a fixed outdoor clothes drying line.

WINDOWS

- Low-E glazing to W15, W18, W24, W30, W31 & W44.
- Low-E glazing to Skylight in Kitchen

- The applicant must install a gas instantaneous hot water system in the development with a performance rating of 5 stars

OTHER

- The applicant must install a gas cooktop & electric oven in the kitchen.
- The applicant must install a fixed outdoor clothes drying line.

WINDOWS

- Low-E glazing to W15, W18, W24, W30, W31 & W44.
- Low-E glazing to Skylight in Kitchen

- The applicant must install a gas cooktop & electric oven in the kitchen.
- The applicant must install a fixed outdoor clothes drying line.

WINDOWS

- Low-E glazing to W15, W18, W24, W30, W31 & W44.
- Low-E glazing to Skylight in Kitchen

BUILDER TO CHECK ALL BUILDING AND BOUNDARY DIMENSIONS PRIOR TO COMMENCEMENT OF WORK SO THAT THE WORK CAN BE CARRIED OUT IN ACCORDANCE TO AUTHORITIES REQUIREMENTS.

ALL BUILDING WORK SHALL COMPLY WITH AUSTRALIAN BUILDING CODES AND LOCAL COUNCIL REQUIREMENTS.

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS. 3660.1-1995.

ALL DIMENSIONS SHOWN ARE THEORETICAL ONLY AND ARE SUBJECT TO SITE MEASURE DURING CONSTRUCTION.

DO NOT SCALE OFF DRAWINGS.

SITE BOUNDARY SURVEY TO BE PROVIDED WHERE NECESSARY TO CONFIRM BOUNDARY POSITION IN ACCORDANCE WITH ADJOINING PROPERTIES AND SERVICES.

WET AREA WATERPROOFING TO GROUND AND FIRST FLOOR BATH SHALL COMPLY WITH PART 3.8.1 OF THE B.C.A.

ALL STAIR BALUSTRADINGS SHALL COMPLY WITH PART 3.9 OF THE B.C.A.

MECHANICAL VENTILATION TO ALL INTERNAL BATHROOMS AND W.C. SHALL COMPLY WITH PART 3.8.5 OF THE B.C.A.

10. ALL TIMBER WALL FRAMES AND TRUSSES SHALL COMPLY WITH PART 3.4.8 OF THE B.C.A. AND AS 1684.

11. ALL GLAZING TO COMPLY WITH PART 3.6 OF THE B.C.A.

12. W.C DOORS TO COMPLY WITH PART 3.8.3.3 OF THE B.C.A.

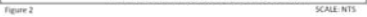
ALL DIMENSIONS TO BE SITE CHECKED
PRIOR TO ANY COMMENCEMENT OF
BUILDING WORKS BY BUILDER.

NOTE:
FOR BEAM LAYOUT REFER TO ENGINEERS
DETAILS FOR SIZING AND LOCATION OF
BEAMS PRIOR TO ORDERING

NOTE:
FOR ALL JOINERY DETAILS REFER TO
MANUFACTURERS SPECIFICATION
BUILDER TO CHECK MEASURE PRIOR TO
MANUFACTURING

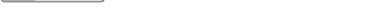
FOR BEAM LAYOUT REFER TO ENGINEERS
DETAILS FOR SIZING AND LOCATION OF
BEAMS PRIOR TO ORDERING

FOR ALL JOINERY DETAILS REFER TO
MANUFACTURERS SPECIFICATION
BUILDER TO CHECK MEASURE PRIOR TO
MANUFACTURING



421 WILLARONG ROAD, CARINGBAH SOUTH, NSW	
TOTAL SITE AREA:	1199m ²
PROPOSED NEW LOWER GROUND FLOOR:	56.99m ²
EXISTING LOWER GROUND FLOOR:	24.29m ²
PROPOSED NEW GROUND FLOOR ADDITION:	181.97m ²
EXISTING GROUND FLOOR:	148.04m ²
PROPOSED FIRST FLOOR:	74.00m ²
PROPOSED NEW GARAGE:	62.28m ²
PROPOSED NEW RUMPUS/GAMES:	64.95m ²
EXISTING CARPORT:	52.66m ²
TOTAL GROSS LIVING AREA: (EXCLUDING DOUBLE GARAGE)	396.30m ²
TOTAL SITE COVERAGE AREA:	300.90m ²
FSR ALLOWABLE: 0.50:1	
FSR PROPOSED: 0.35:1	
SITE COVERAGE ALLOWABLE: 0.50:1	
SITE COVERAGE PROPOSED: 0.25:1	

LANDSCAPE CALCULATIONS	
SITE AREA:	1199m ²
MINIMUM LANDSCAPING AREA REQUIRED:	583.28m ² 299.75m ²
EXISTING LANDSCAPE AREA:	785.80m ² 65.53%
PROPOSED LANDSCAPE AREA:	577.65m ² 48.17%



SCALE: 1 : 200

	DATE	REV	ISSUE
	25.03.23	A	AMENDED DA DRAWINGS FOR LEC HEARING
	14.05.23	B	FURTHER REDUCTION TO DA DRAWINGS FOR LEC HEARING

REV B

A101

1. Builder is to check all Building and Boundary Dimensions Prior to Commencement of work so that the work can be carried out in accordance to Authorities Requirements.
2. All Building work shall comply with Australian Building codes and Local Council Requirements.
3. Provide Terminate Protection in Accordance with AS 3600.1 - 1995 Requirements.
4. All Dimensions shown are Theoretical only and are Subject to Site Measure during Construction.
5. Do not Scale off Drawings.
6. Site Boundary Survey to be provided where necessary to confirm Boundary Position in Accordance with Adjoining Properties and Services.
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PROJECT NO:	2105/21	CLIENT:	MR. P. & MRS. A. ZEMBIS
SCALE:	1:200 @ A1 REV. A	PROJECT:	PROPOSED ALTERATIONS & ADDITIONS INCLUDING FIRST FLOOR ADDITION
DATE:	30th NOVEMBER 2021		TO EXISTING RESIDENCE
SHEET TITLE:	SITE PLAN	ADDRESS:	LOT: 13, DP: 814314, 421 WILLARONG ROAD
COUNCIL:	SUTHERLAND SHIRE COUNCIL		CARINGBAH SOUTH, NSW, 2229

boli designs

ABN: 2541 577 6938

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- NOTES:
1. BUILDER TO CHECK ALL BUILDING AND BOUNDARY DIMENSIONS PRIOR TO COMMENCEMENT OF WORK SO THAT THE WORK CAN BE CARRIED OUT IN ACCORDANCE TO AUTHORITIES REQUIREMENTS.
 2. ALL BUILDING WORK SHALL COMPLY WITH AUSTRALIAN BUILDING CODES AND LOCAL COUNCIL REQUIREMENTS.
 3. PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS. 3660.1-1995.
 4. ALL DIMENSIONS SHOWN ARE THEORETICAL ONLY AND ARE SUBJECT TO SITE MEASURE DURING CONSTRUCTION.
 5. DO NOT SCALE OFF DRAWINGS.
 6. SITE BOUNDARY SURVEY TO BE PROVIDED WHERE NECESSARY TO CONFIRM BOUNDARY POSITION IN ACCORDANCE WITH ADJOINING PROPERTIES AND SERVICES.
 7. WET AREA WATERPROOFING TO GROUND AND FIRST FLOOR BATH SHALL COMPLY WITH PART 3.8.1 OF THE B.C.A.
 8. ALL STAIR BALUSTRADING SHALL COMPLY WITH PART 3.9 OF THE BCA.
 9. MECHANICAL VENTILATION TO ALL INTERNAL BATHROOMS AND W.C SHALL COMPLY WITH PART 3.8.5 OF THE B.C.A.
 10. ALL TIMBER WALL FRAMES AND TRUSSES SHALL COMPLY WITH PART 3.4.8 OF THE B.C.A AND AS 1684.
 11. ALL GLAZING TO COMPLY WITH PART 3.6 OF THE B.C.A.
 12. W.C DOORS TO COMPLY WITH PART 3.8.3.3 OF THE B.C.A.

NOTE:
ALL DIMENSIONS TO BE SITE CHECKED PRIOR TO ANY COMMENCEMENT OF BUILDING WORKS BY BUILDER.

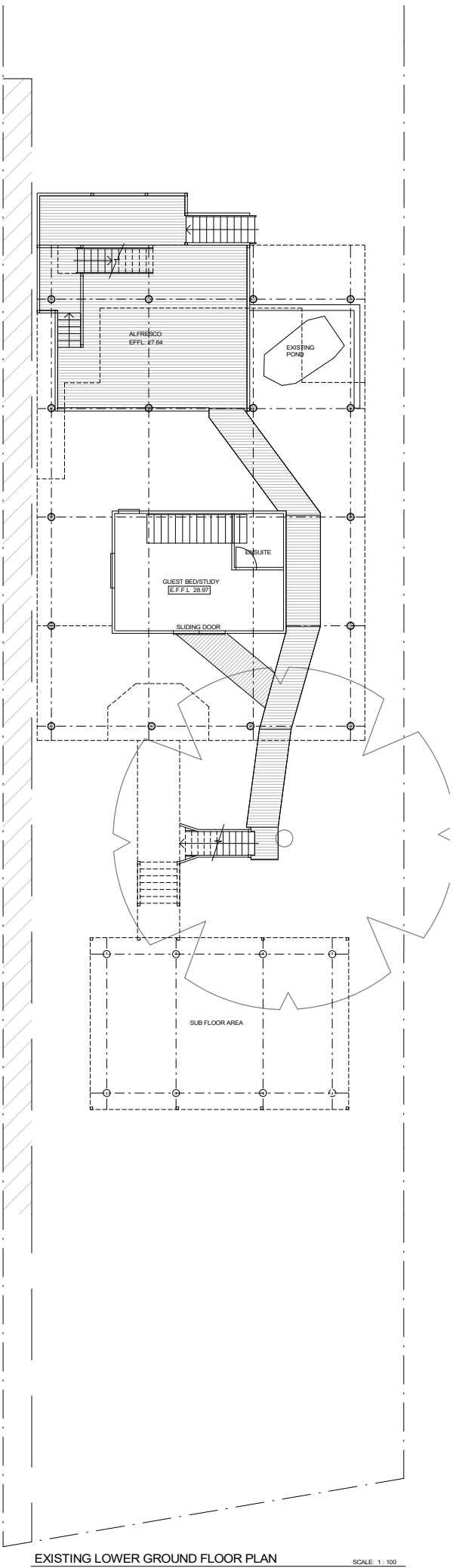
NOTE:
FOR BEAM LAYOUT REFER TO ENGINEERS DETAILS FOR SIZING AND LOCATION OF BEAMS PRIOR TO ORDERING

NOTE:
FOR ALL JOINERY DETAILS REFER TO MANUFACTURERS SPECIFICATION BUILDER TO CHECK MEASURE PRIOR TO MANUFACTURING

DEVELOPMENT CALCULATIONS

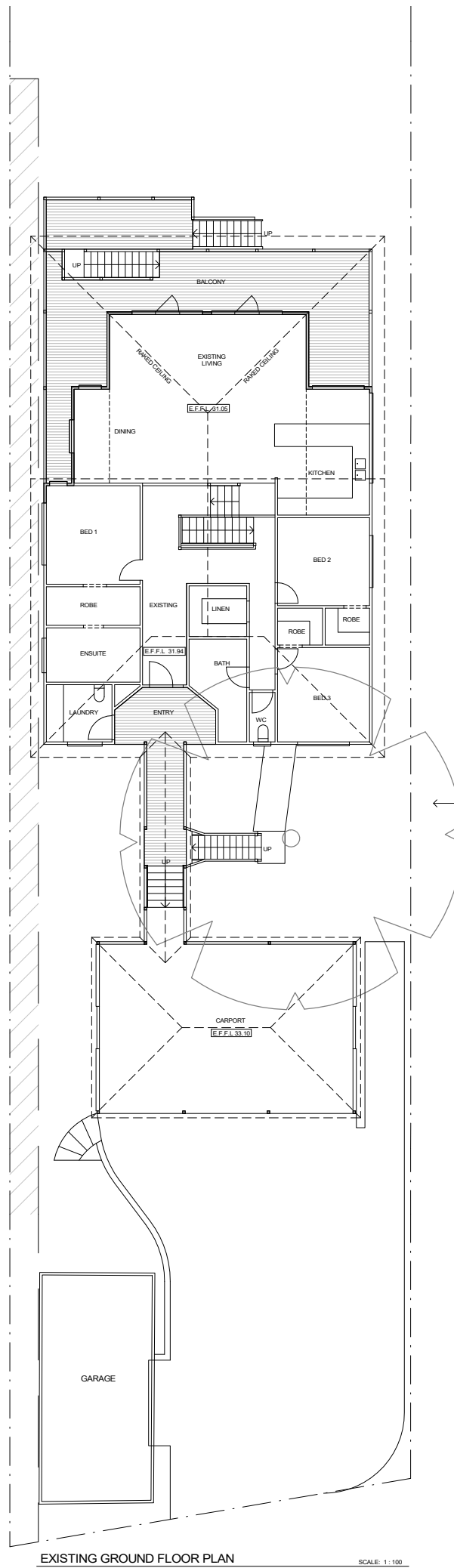
421 WILLARONG ROAD, CARINGBAH SOUTH, NSW

TOTAL SITE AREA:	1199m ²
EXISTING LOWER GROUND FLOOR:	24.29m ²
EXISTING GROUND FLOOR:	148.04m ²
EXISTING CARPORT:	52.06m ²
TOTAL EXISTING GROSS FLOOR AREA:	224.99m ²



EXISTING LOWER GROUND FLOOR PLAN

SCALE: 1:100



EXISTING GROUND FLOOR PLAN

SCALE: 1:100

REV	DATE	REV	ISSUE	BY
25.03.23	A	AMENDED DA DRAWINGS FOR LEC HEARING	AD	
14.05.23	B	FURTHER REDUCTION TO DA DRAWINGS FOR LEC HEARING	AD	

NOTES:

1. Builder to check all Building and Boundary Dimensions Prior to Commencement of work so that the work can be carried out in accordance to Authorities Requirements.
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PROJECT NO:	2105/21	CLIENT:	MR. P. & MRS. A. ZEMBIS
SCALE:	1:100 @ A1	REV:	A
DATE:	30th NOVEMBER 2021	PROJECT:	PROPOSED ALTERATIONS & ADDITIONS INCLUDING FIRST FLOOR ADDITION
SHEET TITLE:	LOWER GROUND & GROUND FLOOR PLAN (EXISTING)	TO EXISTING RESIDENCE	
COUNCIL:	SUTHERLAND SHIRE COUNCIL	ADDRESS:	LOT: 13, DP: 814314, 421 WILLARONG ROAD
			CARINGBAH SOUTH, NSW, 2229

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BASIC COMMITMENTS FOR: PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING TWO STOREY RESIDENCE LOT: 13, DP: 814314, 421 WILLARONG ROAD, CARINGBAH SOUTH	
WATER COMMITMENTS - New or altered showerheads to be a minimum 3 star rating. (>7.5 but <= 9L/min) - New or altered WCs in the proposed dwelling to be minimum 3 star rating. - New or altered kitchen taps to be minimum 3 star rating. - New or altered basin taps to be minimum 3 star rating.	OUTDOOR SWIMMING POOL - The applicant must ensure no more than a capacity of 40 kilolitres - The applicant must ensure a pool pump timer is installed - The applicant must ensure the following system for the swimming pool that is part of this development: solar only
RAINWATER TANK - Rainwater tank must be at least 2100 litres in size - Rainwater tank to collect rainwater run off from at least 210m2 of the roof area of the development (excluding the area of roof which drains to any stormwater tank or dam) - The rainwater tank must be connected to: - all toilets in the development. - the cold water tap that supplies clothes washer in the development. - at least one outdoor tap in the development	HOT WATER - The applicant must install a gas instantaneous hot water system in the development with a performance rating of 5 stars OTHER - The applicant must install a gas cooktop & electric oven in the kitchen. - The applicant must install a fixed outdoor clothes drying line.
LIGHTING The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	WINDOWS - Low-E glazing to W15, W18, W24, W30, W31 & W44. - Low-E glazing to Skylight in Kitchen

NOTE:
ALL DIMENSIONS TO BE SITE CHECKED
PRIOR TO ANY COMMENCEMENT OF
BUILDING WORKS BY BUILDER.

NOTE:
FOR BEAM LAYOUT REFER TO ENGINEERS
DETAILS FOR SIZING AND LOCATION OF
BEAMS PRIOR TO ORDERING

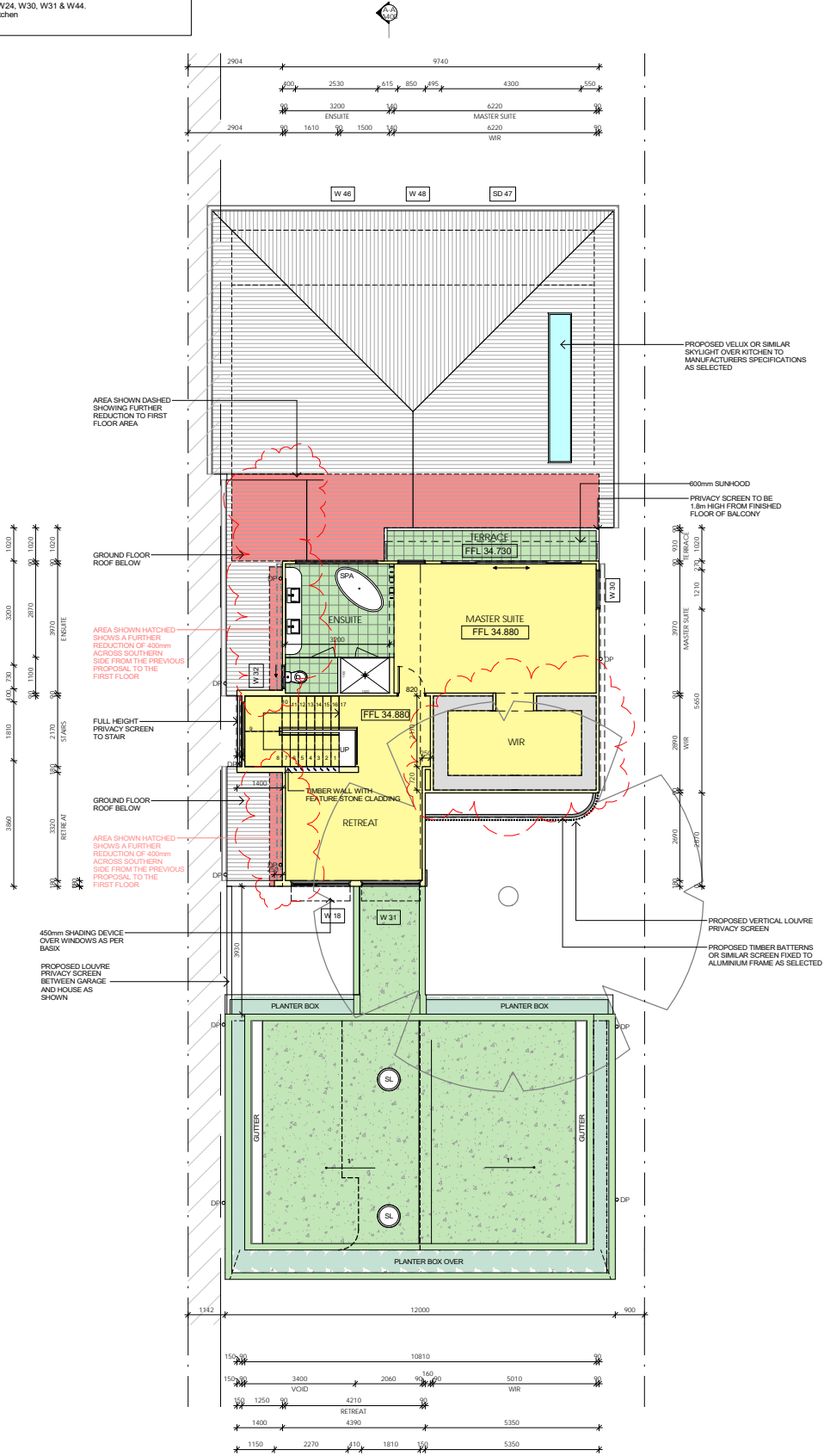
NOTE:
FOR ALL JOINERY DETAILS REFER TO
MANUFACTURERS SPECIFICATION
BUILDER TO CHECK MEASURE PRIOR TO
MANUFACTURING

- NOTES:
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 - PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS. 3660.1-1995.
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 - ALL STAIR BALUSTRADING SHALL COMPLY WITH PART 3.9 OF THE BCA.
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 - ALL TIMBER WALL FRAMES AND TRUSSES SHALL COMPLY WITH PART 3.4.8 OF THE B.C.A. AND AS 1684.
 - ALL GLAZING TO COMPLY WITH PART 3.6 OF THE B.C.A.
 - W.C DOORS TO COMPLY WITH PART 3.8.3.3 OF THE B.C.A.

DEVELOPMENT CALCULATIONS

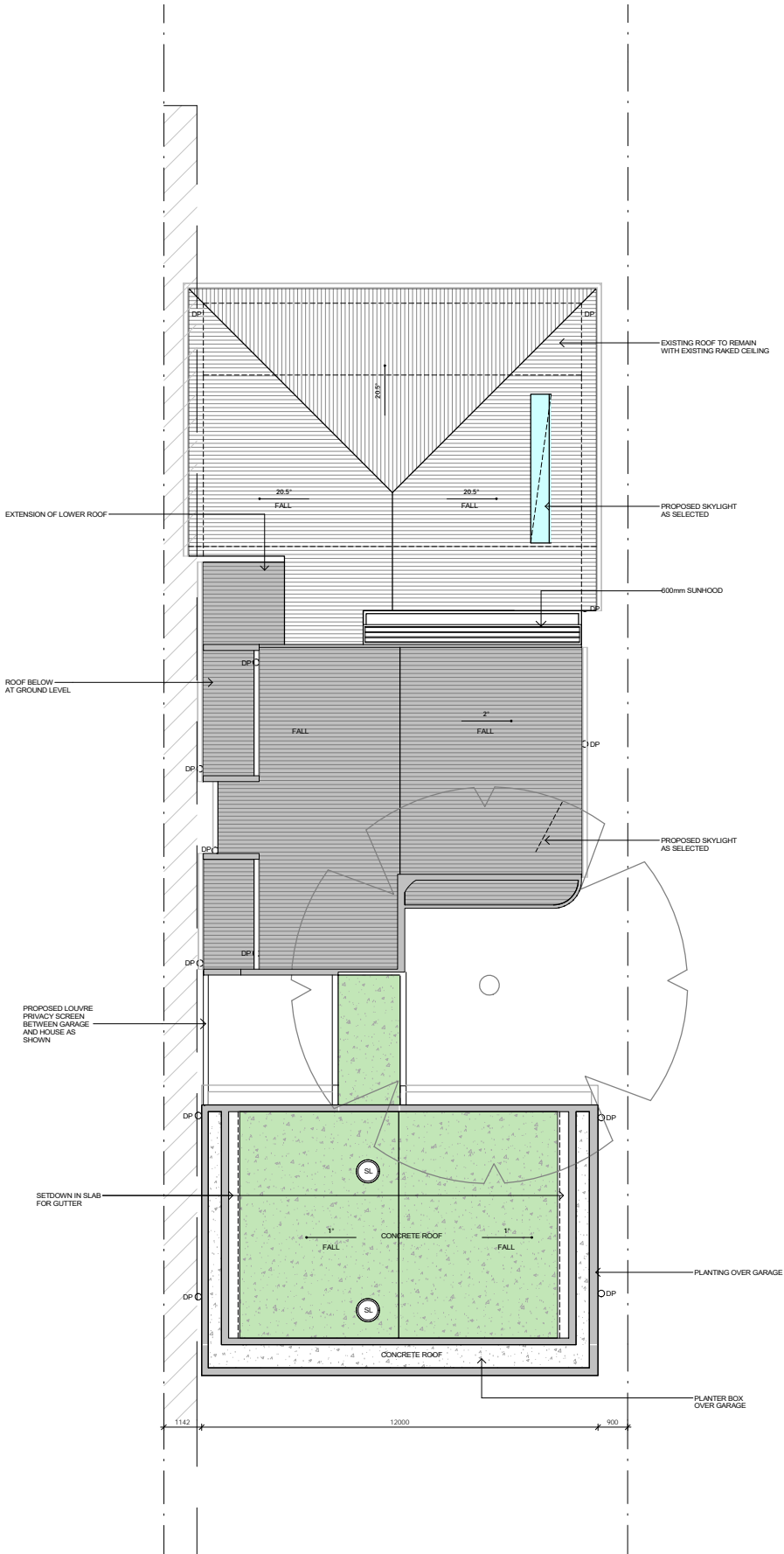
421 WILLARONG ROAD, CARINGBAH SOUTH, NSW

TOTAL SITE AREA:	1199m ²
PROPOSED NEW LOWER GROUND FLOOR:	56.99m ²
EXISTING LOWER GROUND FLOOR:	24.29m ²
PROPOSED NEW GROUND FLOOR ADDITION:	181.97m ²
EXISTING GROUND FLOOR:	148.04m ²
PROPOSED FIRST FLOOR:	74.00m ²
PROPOSED NEW GARAGE:	62.28m ²
PROPOSED NEW RUMPUS/GAMES:	64.95m ²
EXISTING CARPORT:	52.66m ²
TOTAL GROSS LIVING AREA:	396.30m ²
(EXCLUDING DOUBLE GARAGE)	
TOTAL SITE COVERAGE AREA:	300.90m ²
FSR ALLOWABLE: 0.50:1	
FSR PROPOSED: 0.35:1	
SITE COVERAGE ALLOWABLE: 0.50:1	
SITE COVERAGE PROPOSED: 0.25:1	



FIRST FLOOR PLAN

SCALE: 1 : 100



ROOF PLAN

SCALE: 1 : 100

NOTE:
EXISTING GROUND LEVEL AND EXISTING LOWER GROUND LEVEL
TO BE CLADDING WITH HEBEL 75mm POWER FLOOR AND TIMBER FLOORING

DATE	REV	ISSUE	BY
25.03.23	A	AMENDED DA DRAWINGS FOR LEC HEARING	AD
14.05.23	B	FURTHER REDUCTION TO DA DRAWINGS FOR LEC HEARING	AD

- NOTES:
- Builder must check all Building and Boundary Dimensions Prior to Commencement of work so that the work can be carried out in accordance with the relevant authorities.
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PROJECT NO:	2105/21
SCALE:	1 : 100 @ A1
DATE:	30th NOVEMBER 2021
SHEET TITLE:	FIRST FLOOR & ROOF PLAN
COUNCIL:	SUTHERLAND SHIRE COUNCIL

CLIENT:	MR. P. & MRS. A. ZEMBS
PROJECT:	PROPOSED ALTERATIONS & ADDITIONS INCLUDING FIRST FLOOR ADDITION
TO EXISTING RESIDENCE	
ADDRESS:	LOT: 13, DP: 814314, 421 WILLARONG ROAD
	CARINGBAH SOUTH, NSW, 2229

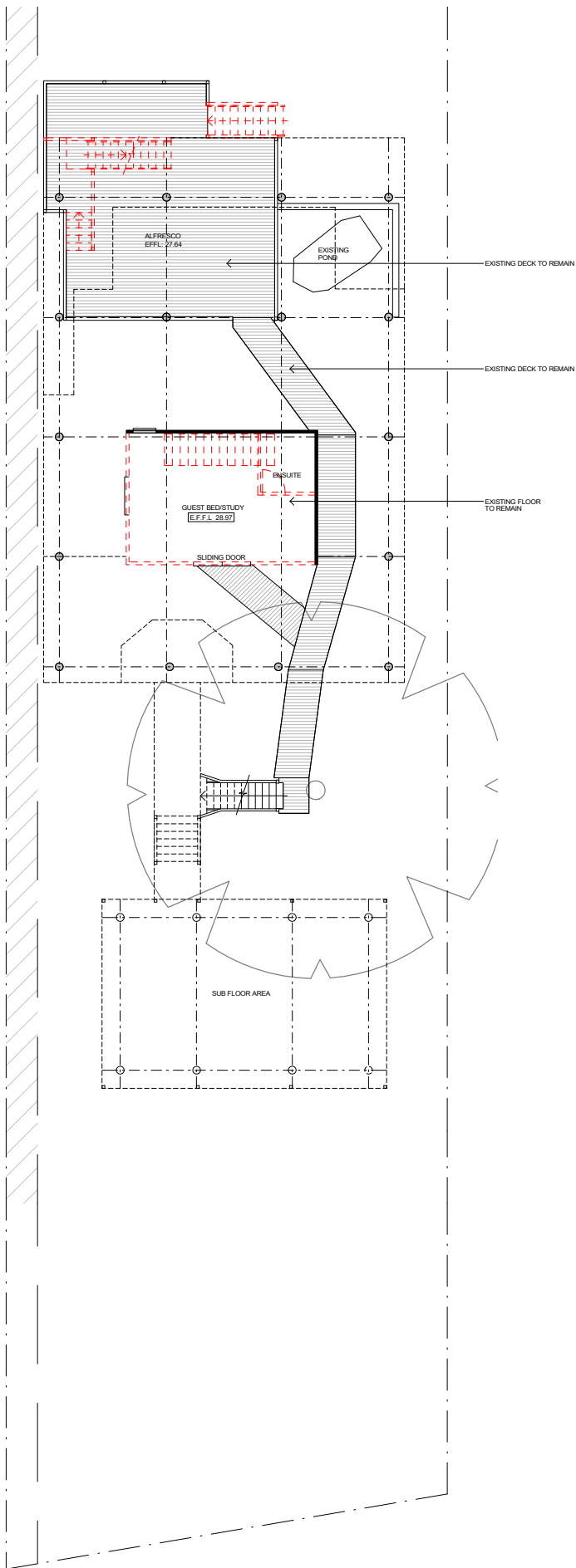
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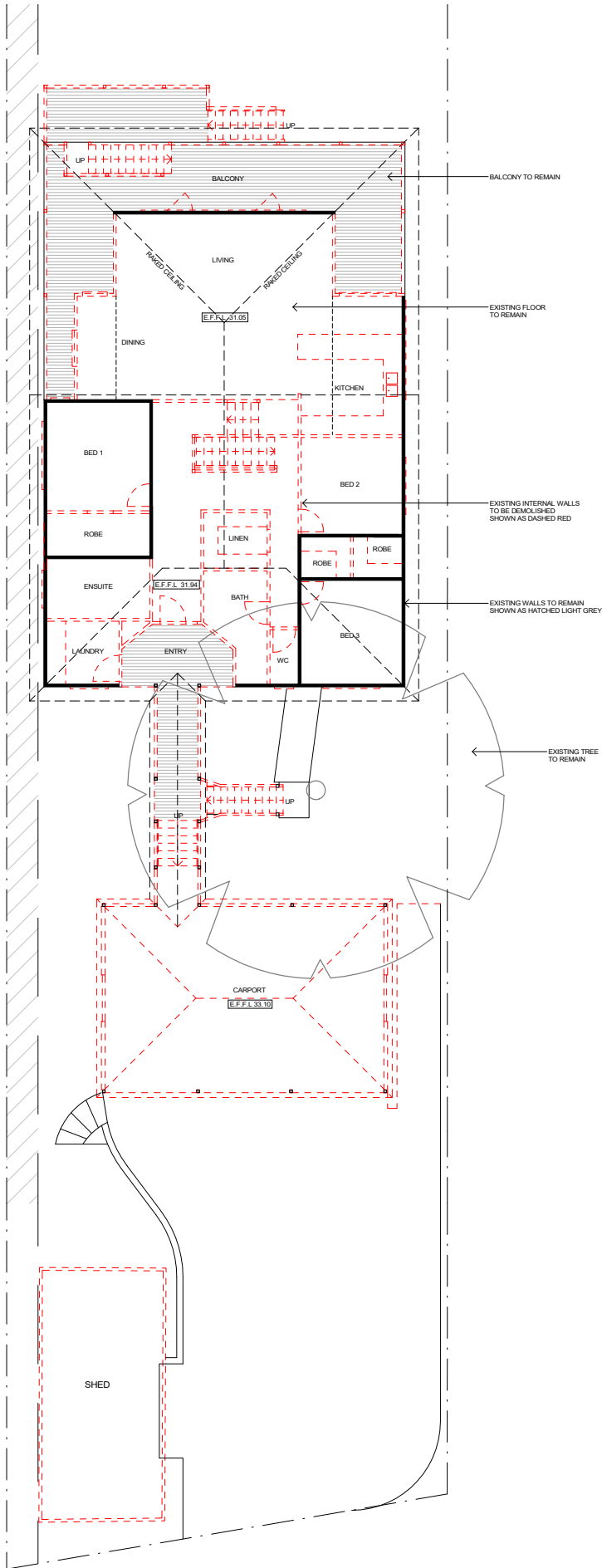
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EXISTING LOWER GROUND FLOOR PLAN SCALE: 1 : 100



EXISTING GROUND FLOOR PLAN SCALE: 1 : 100

- LEGEND**
- DENOTES EXISTING TIMBER FRAMED WALLS & STRUCTURE TO BE DEMOLISHED
 - DENOTES EXISTING WALLS TO REMAIN
 - 'EXISTING FLOOR LEVELS TO REMAIN'

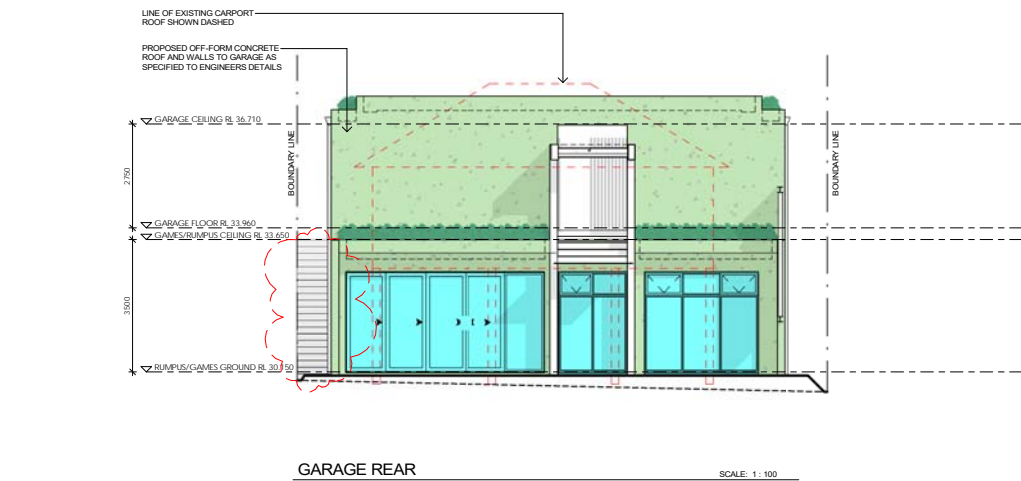
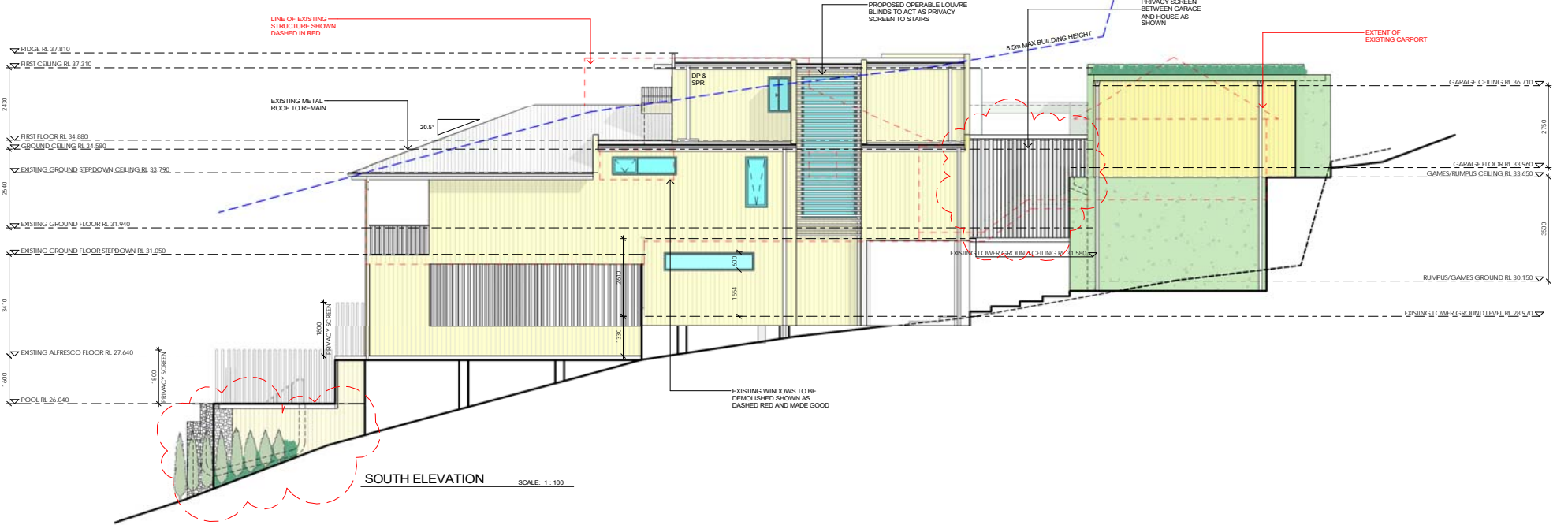
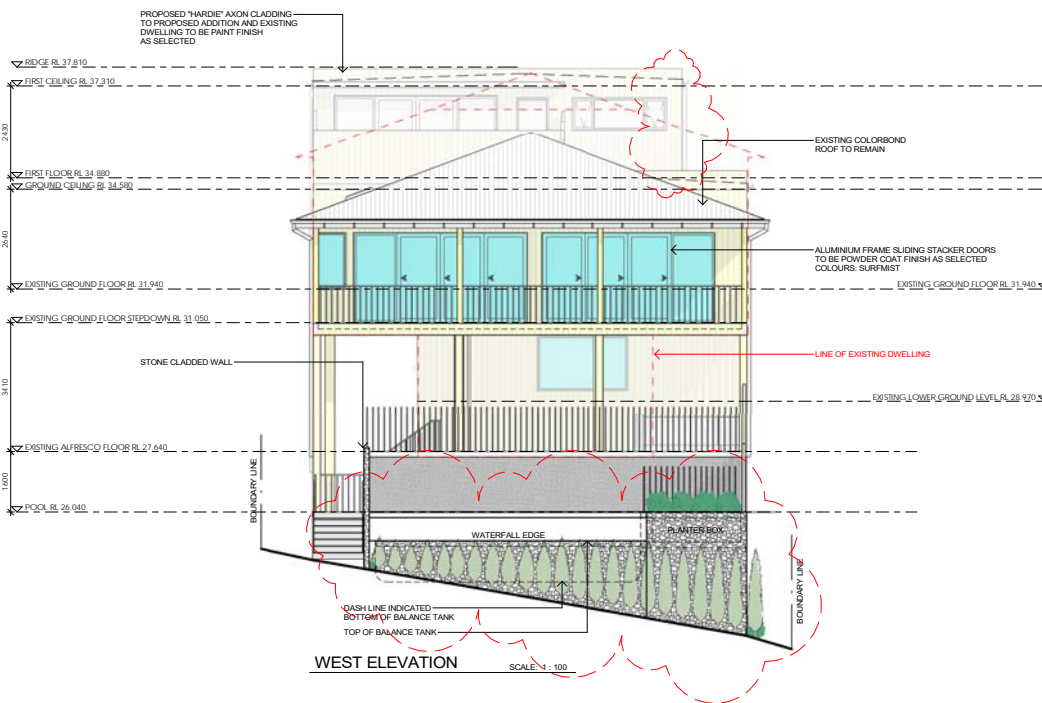
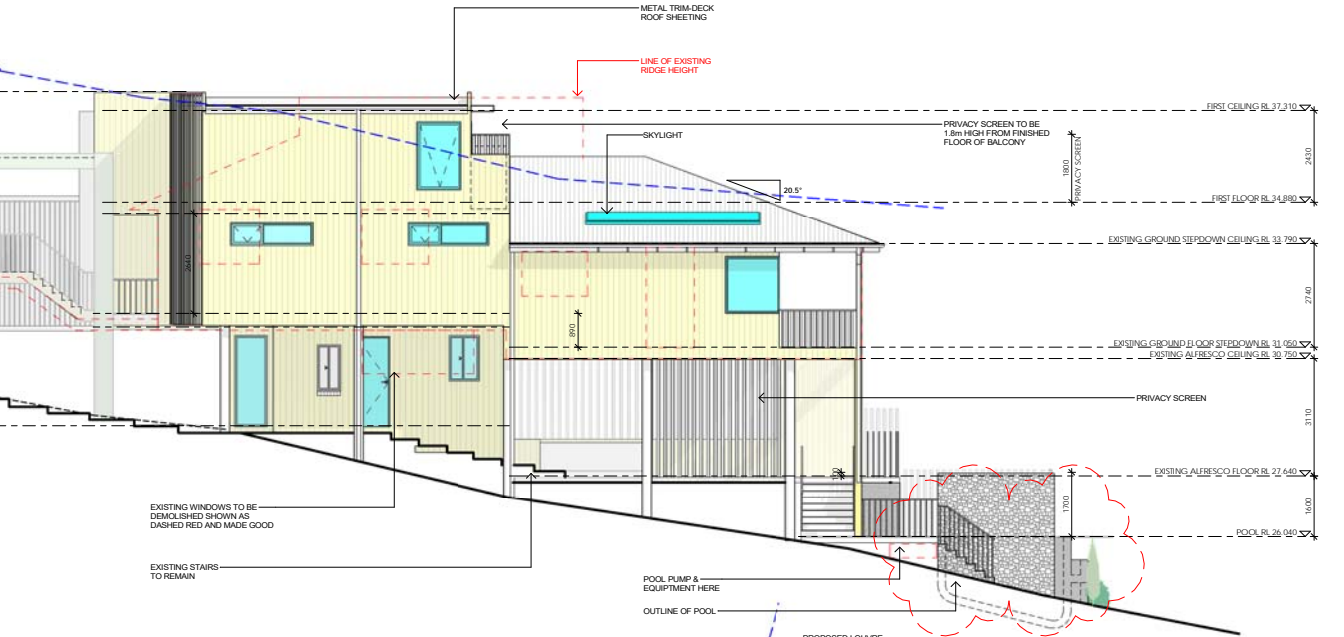
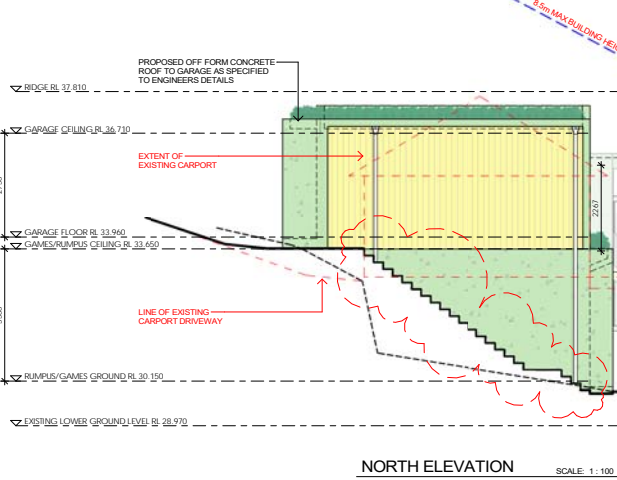
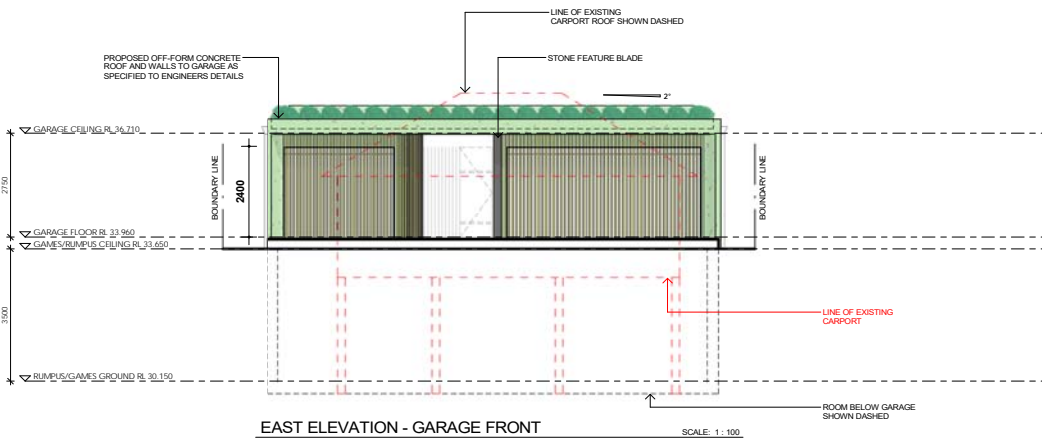
DATE	REV	ISSUE	BY
25.03.23	A	AMENDED DA DRAWINGS FOR LEC HEARING	AD
14.05.23	B	FURTHER REDUCTION TO DA DRAWINGS FOR LEC HEARING	AD

NOTES:

1. Builder to check all Building and Boundary Dimensions Prior to Commencement of work so that the work can be carried out in accordance to Australian Requirements.
2. All Building work shall comply with Australian Building codes and Local Council Requirements.
3. Provide Termite Protection in Accordance with with AS 3601.1 - 1990 Requirements.
4. All Dimensions shown are Theoretical only and are subject to Site Measure during Construction.
5. Do not Scale off Drawings.
6. Site Boundary Survey to be provided where necessary to confirm Boundary Position in Accordance with Adjoining Properties and Services.
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PROJECT NO:	2105/21	REV:	A
SCALE:	1 : 100 @ A1		
DATE:	30th NOVEMBER 2021		
SHEET TITLE:	DEMOLITION PLAN		
COUNCIL:	SUTHERLAND SHIRE COUNCIL		

CLIENT:	MR. P. & MRS. A. ZEMBI
PROJECT:	PROPOSED ALTERATIONS & ADDITIONS INCLUDING FIRST FLOOR ADDITION
	TO EXISTING RESIDENCE
ADDRESS:	LOT: 13, DP: 814314, 421 WILLARONG ROAD
	CARINGBAH SOUTH, NSW, 2229



NOTE:
EXISTING GROUND LEVEL AND EXISTING LOWER GROUND LEVEL
TO BE CLADDING WITH HEBEL 75mm POWER FLOOR AND TIMBER FLOORING

BASIX COMMITMENTS FOR:	
PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING TWO STOREY RESIDENCE	
LOT: 13, DP: 814314, 421 WILLARONG ROAD, CARINGBAH SOUTH	
WATER COMMITMENTS <ul style="list-style-type: none">- New or altered showerheads to be a minimum 3 star rating. (>7.5 but <= 9L/min)- New or altered WCs in the proposed dwelling to be minimum 3 star rating.- New or altered kitchen taps to be minimum 3 star rating.- New or altered basin taps to be minimum 3 star rating.	OUTDOOR SWIMMING POOL <ul style="list-style-type: none">- The applicant must ensure no more than a capacity of 40 kilolitres- The applicant must ensure a pool pump timer is installed- The applicant must ensure the following system for the swimming pool that is part of this development: solar only
RAINWATER TANK <ul style="list-style-type: none">- Rainwater tank must be at least 2100 litres in size- Rainwater tank to collect rainwater run off from at least 210m2 of the roof area of the development (excluding the area of roof which drains to any stormwater tank or dam)- The rainwater tank must be connected to:<ul style="list-style-type: none">- all toilets in the development.- the cold water tap that supplies clothes washer in the development.- at least one outdoor tap in the development	HOT WATER <ul style="list-style-type: none">- The applicant must install a gas instantaneous hot water system in the development with a performance rating of 5 stars
LIGHTING <ul style="list-style-type: none">- The applicant must ensure a minimum of 40% of new or altered light fixtures are filled with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	OTHER <ul style="list-style-type: none">- The applicant must install a gas cooktop & electric oven in the kitchen.- The applicant must install a fixed outdoor clothes drying line.
	WINDOWS <ul style="list-style-type: none">- Low-E glazing to W15, W18, W24, W30, W31 & W44.- Low-E glazing to Skylight in Kitchen

DATE	REV	ISSUE	BY
25.03.23	A	AMENDED DA DRAWINGS FOR LEC HEARING	AD
14.05.23	B	FURTHER REDUCTION TO DA DRAWINGS FOR LEC HEARING	AD

NOTES:

1. Builder to check all Building and Boundary Dimensions Prior to Commencement of work so that the work can be completed as shown.
2. All Building work shall comply with Australian Building codes and Local Council Requirements.
3. Provide Termite Protection in Accordance with AS 3601.1 - 1999 Requirements.
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PROJECT NO:	2105/21	CLIENT:	MR. P. & MRS. A. ZEMBS
SCALE:	1:100 @ A1	PROJECT:	PROPOSED ALTERATIONS & ADDITIONS INCLUDING FIRST FLOOR ADDITION
DATE:	30th NOVEMBER 2021	TO EXISTING RESIDENCE	
SHEET TITLE:	ELEVATIONS	ADDRESS:	LOT: 13, DP: 814314, 421 WILLARONG ROAD
COUNCIL:	SUTHERLAND SHIRE COUNCIL		CARINGBAH SOUTH, NSW, 2229

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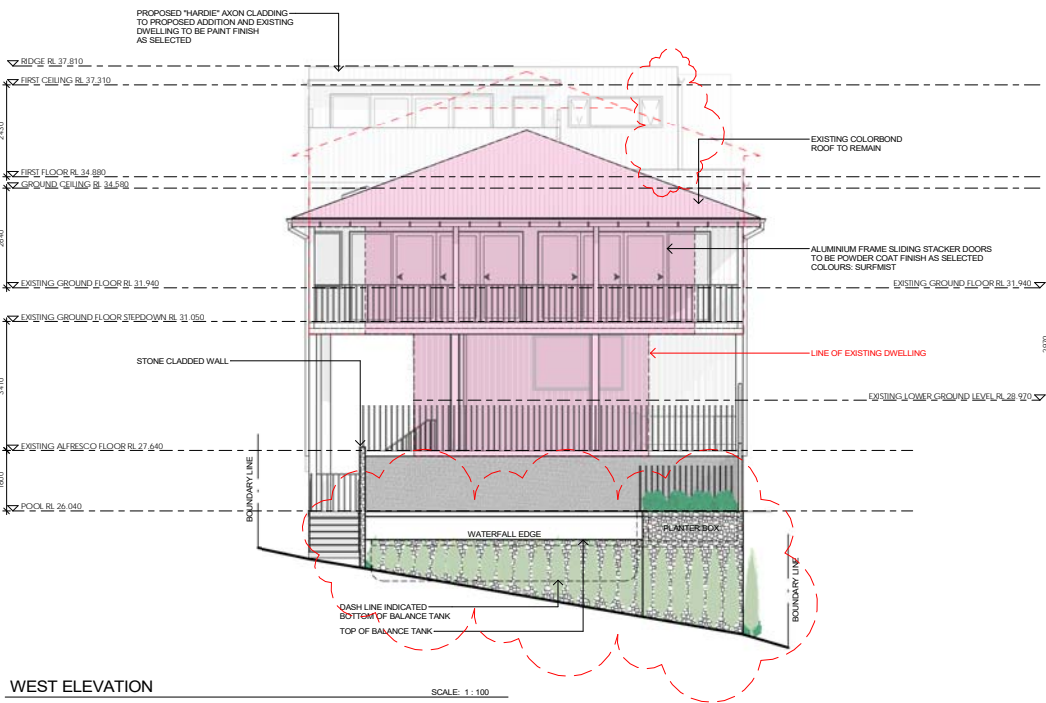


EAST ELEVATION

SCALE: 1:100

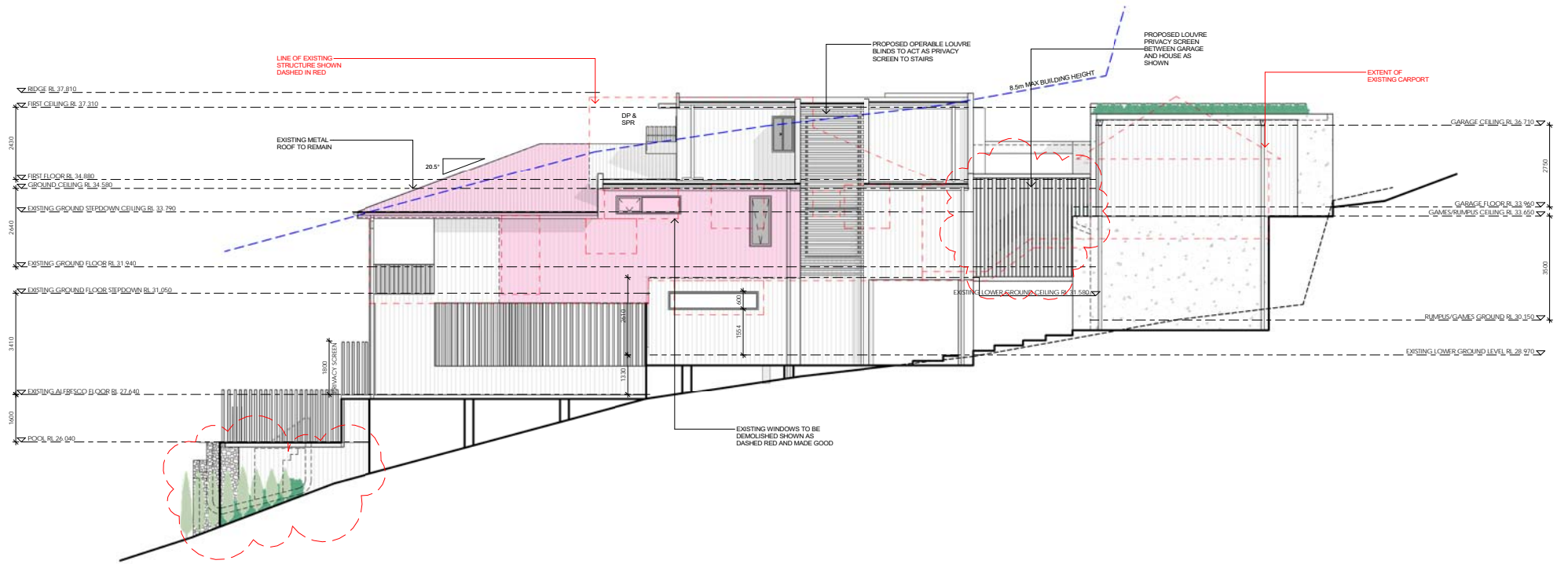
LEGEND

 DENOTES HATCHED AREA OF EXISTING DWELLING TO REMAIN



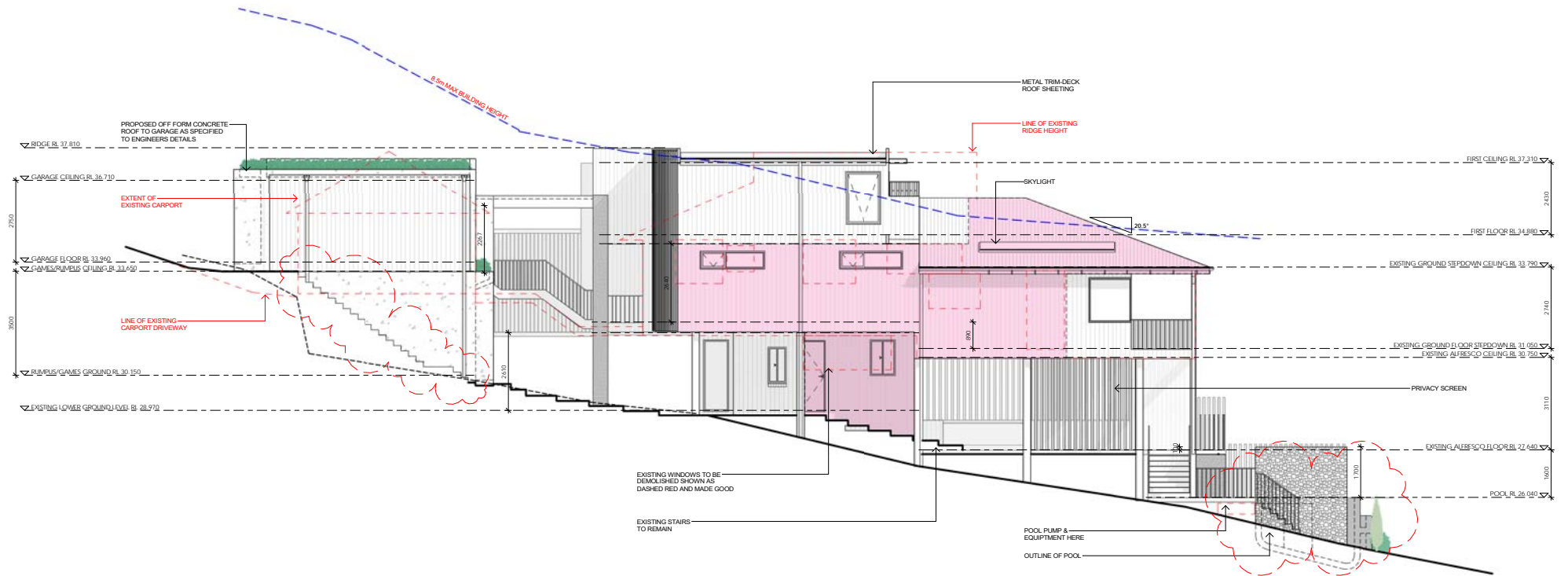
WEST ELEVATION

SCALE: 1:100



SOUTH ELEVATION

SCALE: 1:100



NORTH ELEVATION

SCALE: 1:100

NOTE:
EXISTING GROUND LEVEL AND EXISTING LOWER GROUND LEVEL
TO BE CLADDING WITH HEBEL 75mm POWER FLOOR AND TIMBER FLOORING

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PROJECT NO: 2105/21

SCALE: 1:100 @ A1

DATE: 30th NOVEMBER 2021

SHEET TITLE: EXISTING HIGHLIGHTED AREAS

COUNCIL: SUTHERLAND SHIRE COUNCIL

CLIENT: MR. P. & MRS. A. ZEMBI

PROJECT: PROPOSED ALTERATIONS & ADDITIONS INCLUDING FIRST FLOOR ADDITION

TO EXISTING RESIDENCE

ADDRESS: LOT: 13, DP: 814314, 421 WILLARONG ROAD

CARINGBAH SOUTH, NSW, 2229

DATE	REV	ISSUE	BY
20.03.23	A	AMENDED DA DRAWINGS FOR LEC HEARING	AD
14.05.23	B	FURTHER REDUCTION TO DA DRAWINGS FOR LEC HEARING	AD

NOTES:

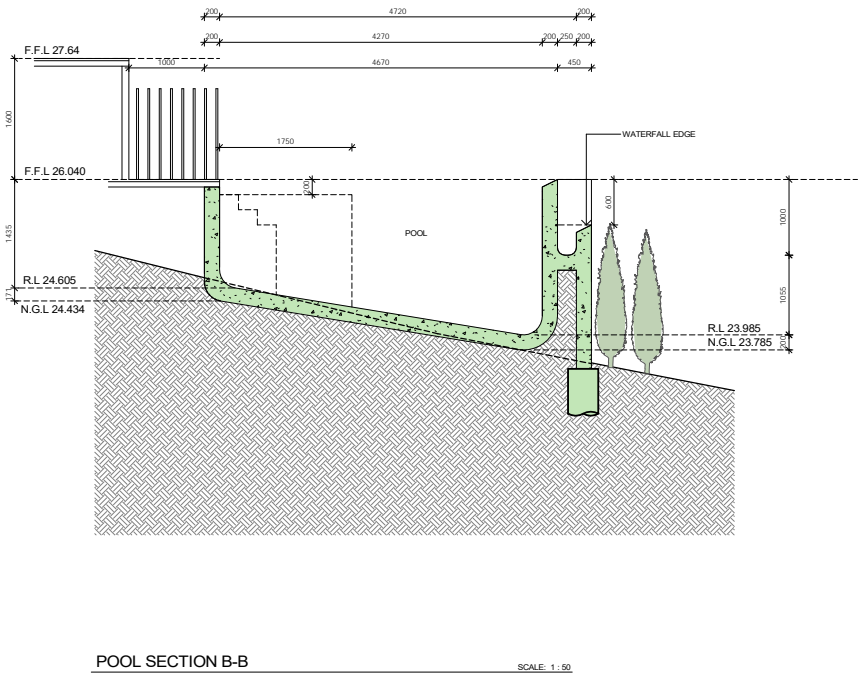
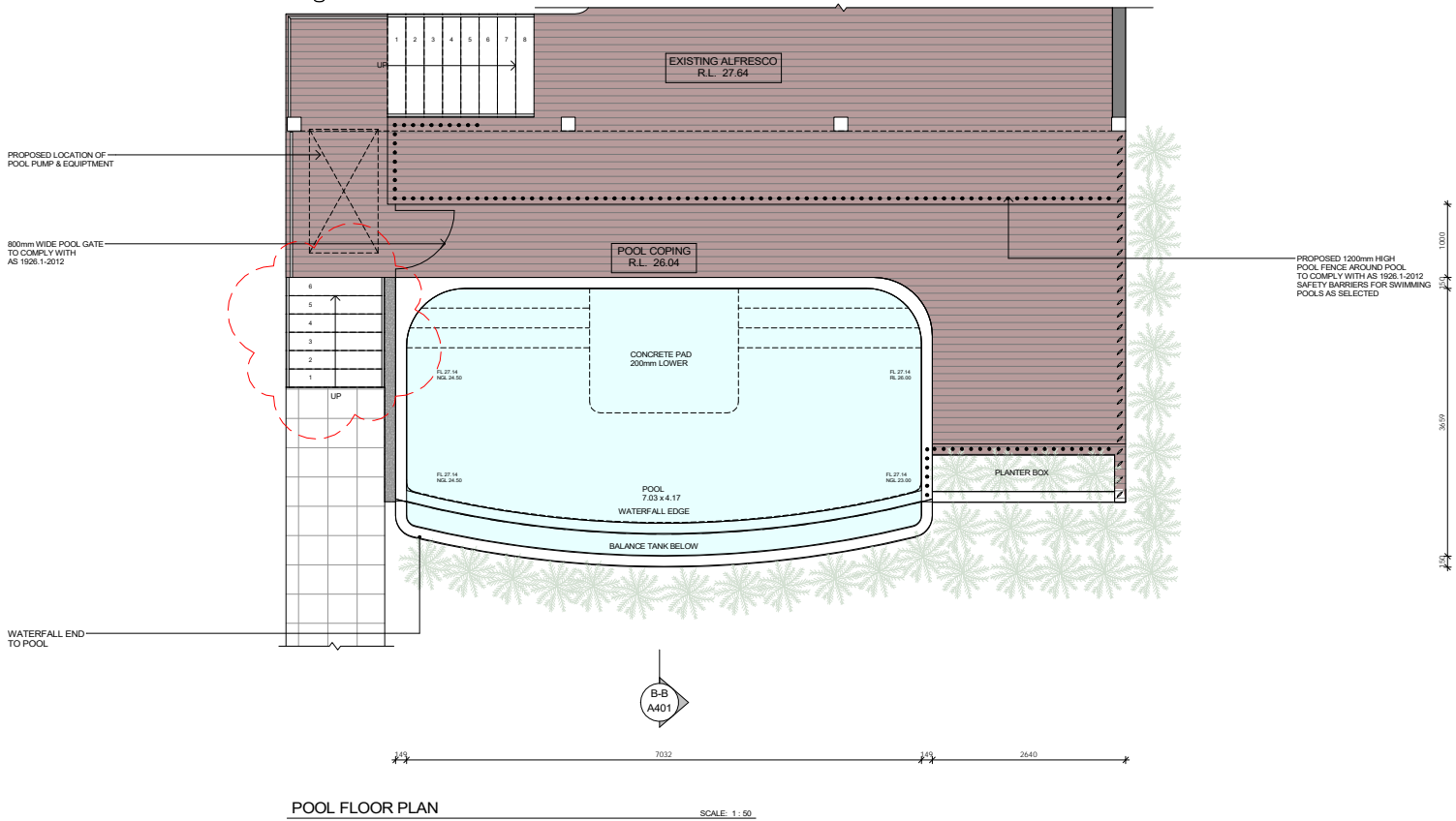
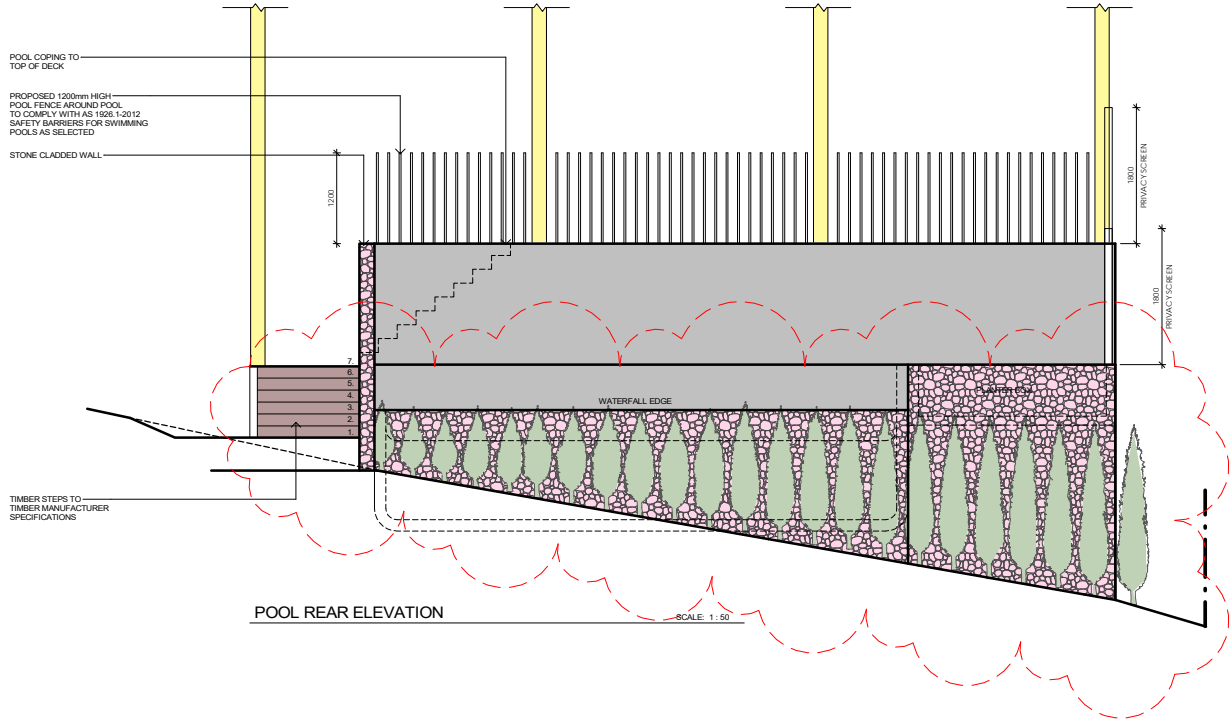
1. Builder and client to check all Building and Boundary Dimensions Prior to Commencement of work as that the work can be carried out in accordance with the Building and Boundary Dimensions.
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BASIX COMMITMENTS FOR:	
PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING TWO STOREY RESIDENCE	
LOT: 13, DP: 814314, 421 WILLARONG ROAD, CARINGBAH SOUTH	
WATER COMMITMENTS <ul style="list-style-type: none">- New or altered showerheads to be a minimum 3 star rating, (>7.5 but <= 9L/min)- New or altered WCs in the proposed dwelling to be minimum 3 star rating.- New or altered kitchen taps to be minimum 3 star rating.- New or altered basin taps to be minimum 3 star rating.	OUTDOOR SWIMMING POOL <ul style="list-style-type: none">- The applicant must ensure no more than a capacity of 40 kilolitres- The applicant must ensure a pool pump timer is installed- The applicant must ensure the following system for the swimming pool that is part of this development: solar only
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	WINDOWS <ul style="list-style-type: none">- Low-E glazing to W15, W18, W24, W30, W31 & W44.- Low-E glazing to Skylight in Kitchen

NOTE:
ALL DIMENSIONS TO BE SITE CHECKED
PRIOR TO ANY COMMENCEMENT OF
BUILDING WORKS BY BUILDER.

NOTE:
FOR BEAM LAYOUT REFER TO ENGINEERS
DETAILS FOR SIZING AND LOCATION OF
BEAMS PRIOR TO ORDERING

NOTE:
FOR ALL JOINERY DETAILS REFER TO
MANUFACTURERS SPECIFICATION
BUILDER TO CHECK MEASURE PRIOR TO
MANUFACTURING



LEGEND

HATCH DENOTES FSR CALCULATIONS

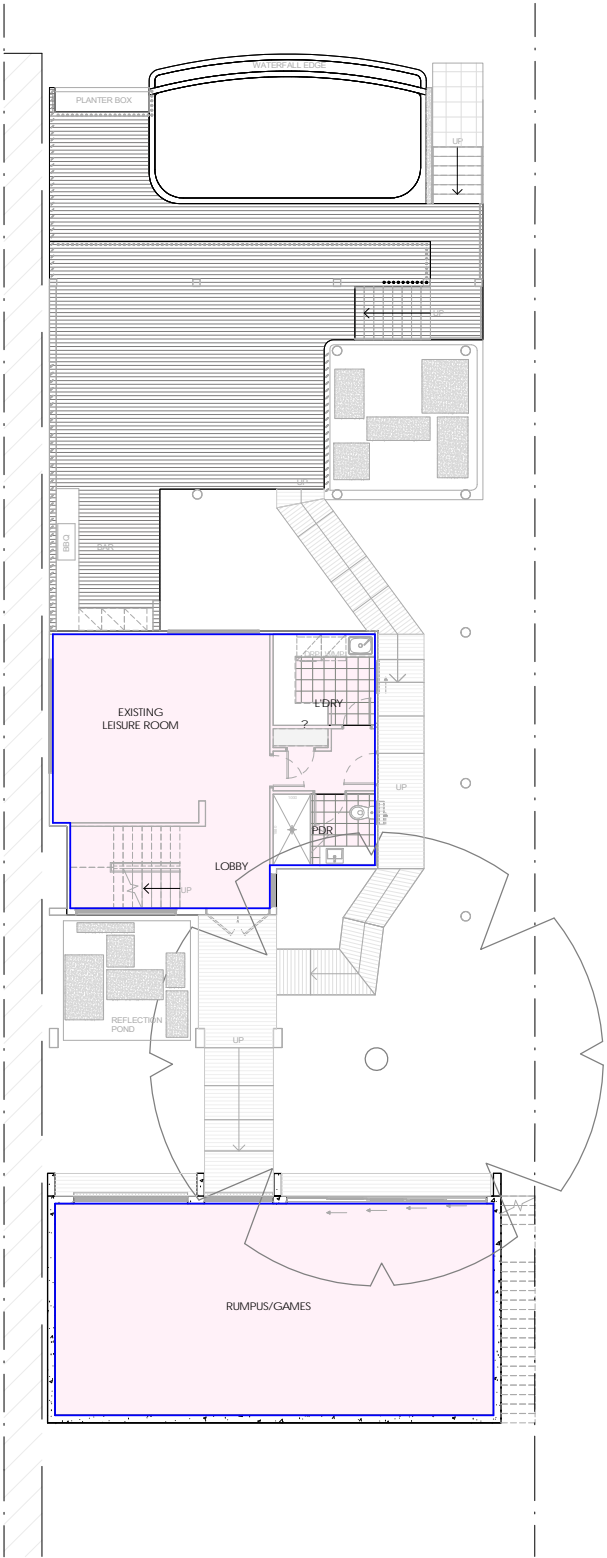
FLOOR SPACE RATIO CALCULATIONS	
SITE AREA:	1199m²
LOWER GROUND FLOOR AREA:	52m²
RUMPUS/GAMES FLOOR AREA:	64.95m²
GROUND FLOOR AREA:	181.97m²
FIRST FLOOR AREA:	97.79m²
GARAGE FLOOR AREA:	62.68m²
TOTAL FSR:	459.39m²

FSR:	ALLOWABLE 0.50:1 = 599.50m²
PROPOSED (EXCLUDING DOUBLE GARAGE):	0.35:1 = 419.45m²

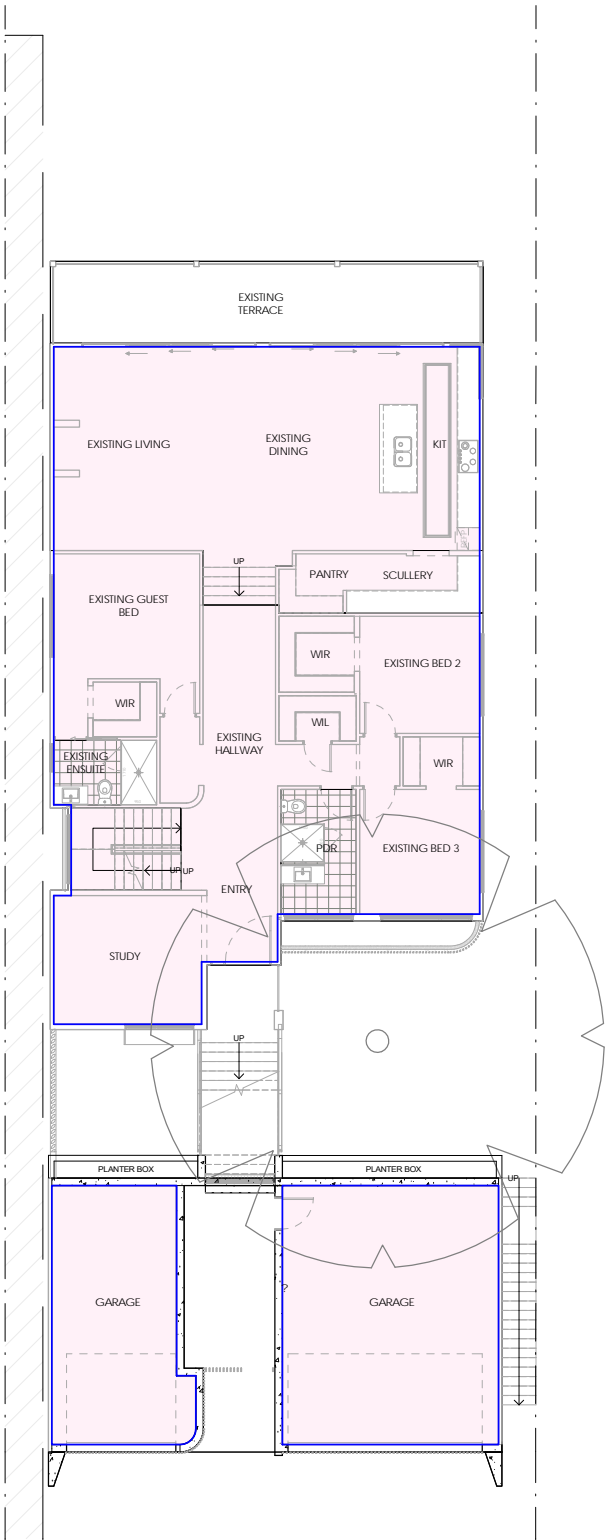
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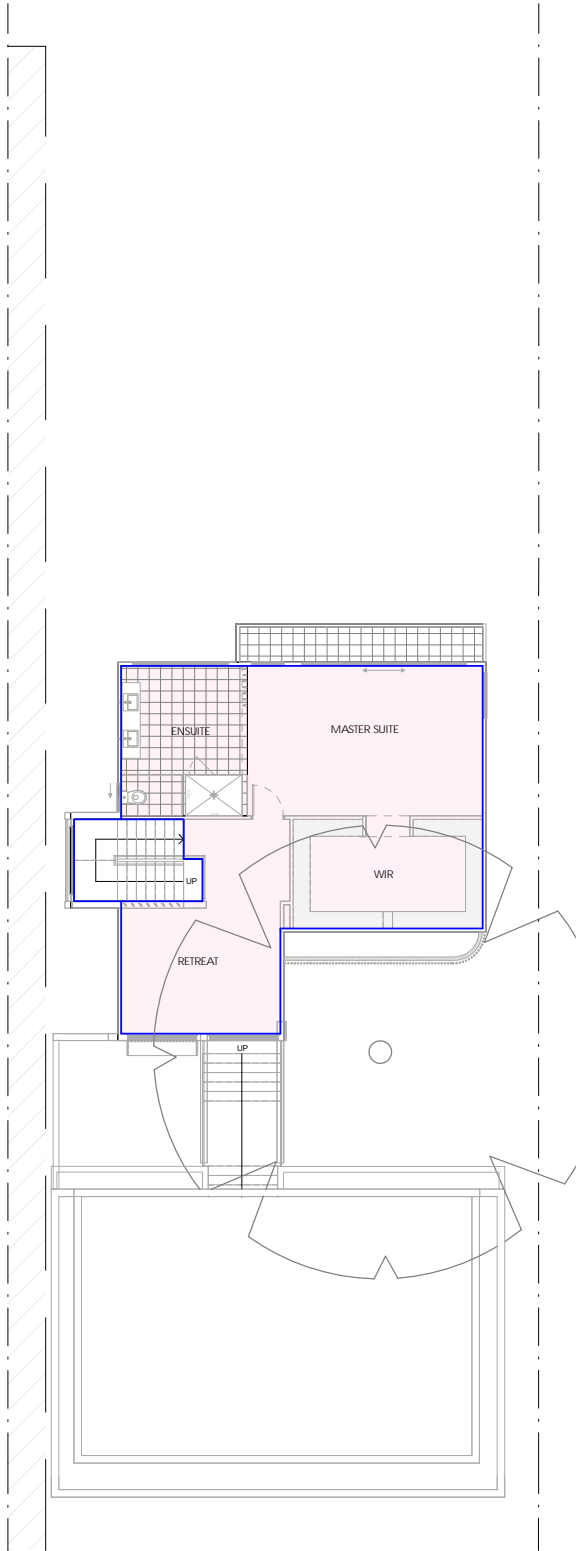
NOTE:
FOR ALL JOINERY DETAILS REFER TO
MANUFACTURERS SPECIFICATION
BUILDER TO CHECK MEASURE PRIOR TO
MANUFACTURING



LOWER GROUND PLAN SCALE: 1 : 100



GROUND FLOOR PLAN SCALE: 1 : 100



FIRST FLOOR PLAN SCALE: 1 : 100

DATE	REV	ISSUE	BY
25.03.23	A	AMENDED DA DRAWINGS FOR LEC HEARING	AD
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PROJECT NO:	2105/21	REV:	A
SCALE:	1 : 100 @ A1		
DATE:	30th NOVEMBER 2021		
SHEET TITLE:	FLOOR SPACE RATIO PLAN		
COUNCIL:	SUTHERLAND SHIRE COUNCIL		

CLIENT:	MR. P. & MRS. A. ZEMBI
PROJECT:	PROPOSED ALTERATIONS & ADDITIONS INCLUDING FIRST FLOOR ADDITION
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